

**DEVELOPMENT INFORMATION TRACT TWO:**

**DEVELOPER:** MT LAND, LLC  
141 PROVIDENCE RD  
CHARLOTTE, NC 28207  
PHONE: (704) 200-4273

**LAND OWNER:** SECREST DRUG CO. INC.  
P.O. BOX 547  
MONROE, NC 28111

**TAX PARCEL NO.:** 09321004 90

**BOOK & PAGE:** UNKNOWN

**SITE ACREAGE:** 124.54± ACRES

**CURRENT ZONING:** R-20

**PROPOSED ZONING:** COND. USE DISTRICT - SECREST COMMONS

**LAND USE:** EXISTING -FARMLAND (VACANT)  
PROPOSED -TOWNHOME/MULTIFAMILY

**SETBACKS:** FRONT 20 FT  
CORNER 10 FT  
SIDE 5 FT  
REAR 25FT

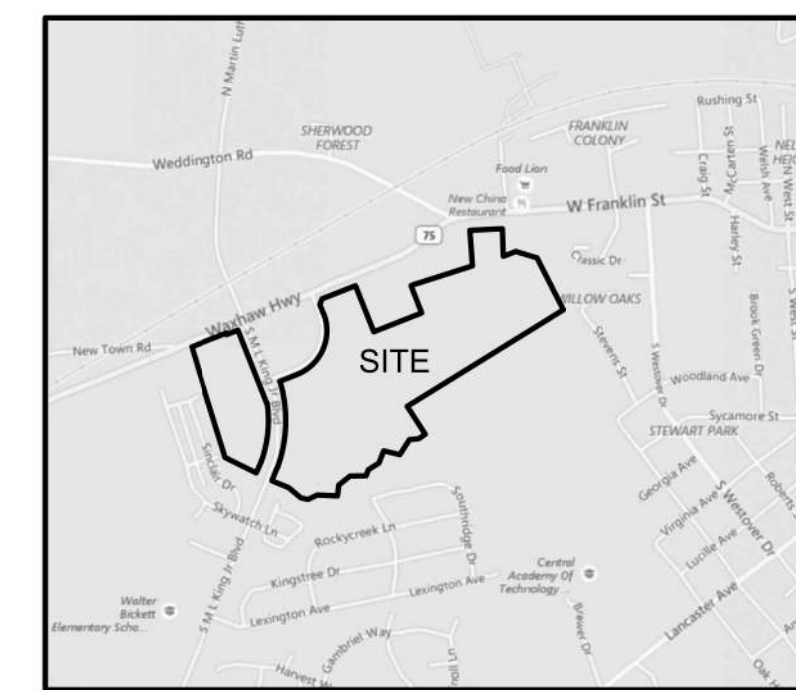
**LOTS/UNITS:** TRACT ONE - 280 UNITS (51' X 120')  
TRACT TWO - 192 UNITS (20' X 40')  
TOTAL - 472 UNITS

**LOT WIDTHS (MIN.):** 51 FT

**LOT AREAS (MIN.):** 6,000 SF

**COMMON OPEN SPACE:** C.O.S. REQUIRED = 15.58 ACRES (12.5%)  
C.O.S. PROVIDED = 44.21 ACRES (28.0%)

**DENSITY:** TRACT ONE - 2.78 UNITS/ACRE  
TRACT TWO - 9.33 UNITS/ACRE  
OVERALL - 3.79 UNITS/ACRE



VICINITY MAP - N.T.S.

**USE SUMMARY - BY TRACT**

- TRACT ONE:** - AGE TARGETED/ACTIVE ADULT AND/OR DETACHED SINGLE FAMILY RESIDENTIAL
- TRACT TWO:** - TOWNHOME/ATTACHED SINGLE FAMILY RESIDENTIAL (APPROVED USE)
- ALTERNATIVE USES MAY INCLUDE COMMERCIAL AND/OR USES ALLOWED IN TRACT ONE (SUBJECT TO CONDITIONAL USE PLAN AMENDMENT AND APPROVAL BY CITY COUNCIL) (ALTERNATIVE USE AMENDMENT SHALL BE APPROVED THROUGH REZONING PROCESS)
- COMMERCIAL:** - OUTPARCEL DEVELOPMENT MUST BE PRESENTED TO TRC, PLANNING BOARD AND APPROVED BY CITY COUNCIL (NO VESTED RIGHT OTHER THAN COMMERCIAL USE ESTABLISHED WITH THIS PLAN)



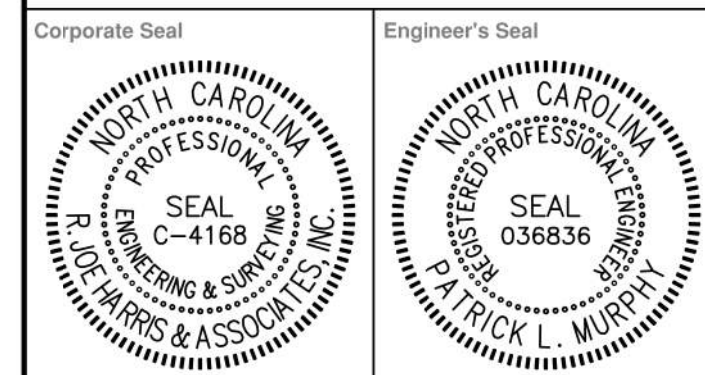
Engineer:



**R. Joe Harris & Associates, Inc.**  
Engineering • Land Surveying • Planning Management  
127 Ben Coney Drive, Suite 100, Fort Mill, S.C. 29708 P: (803) 802-1799

www.rjoharris.com

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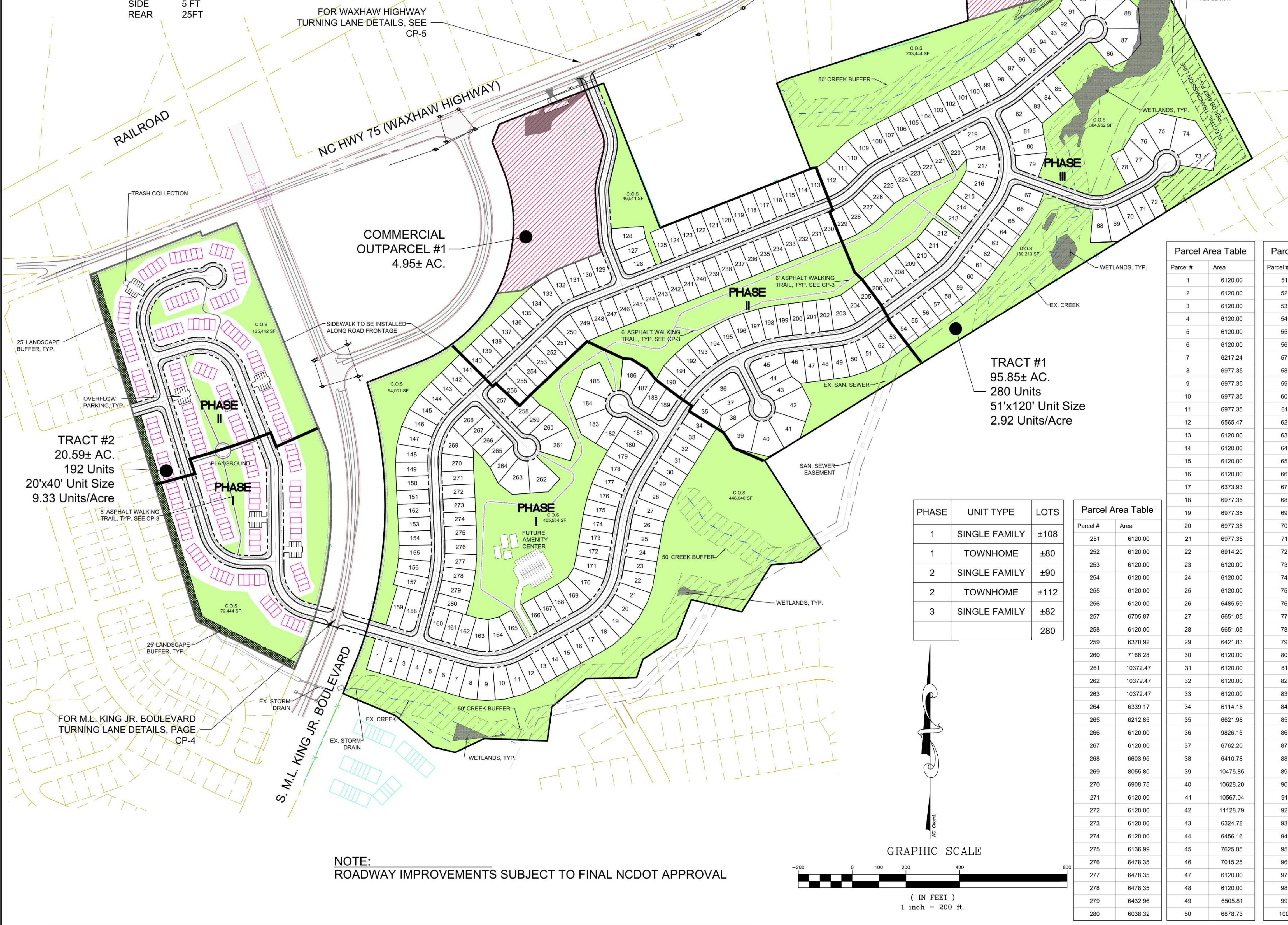


**Project Manager:** P. Murphy  
**Department Manager:** P. Murphy  
**Print/Plot Date:** February 21, 2018  
**Client:** MT LAND  
141 PROVIDENCE ROAD  
CHARLOTTE, NC 28207  
P: (704) 200-4237

**Project:** Secrest Commons

**Drawing Title:** Conditional Use Plan

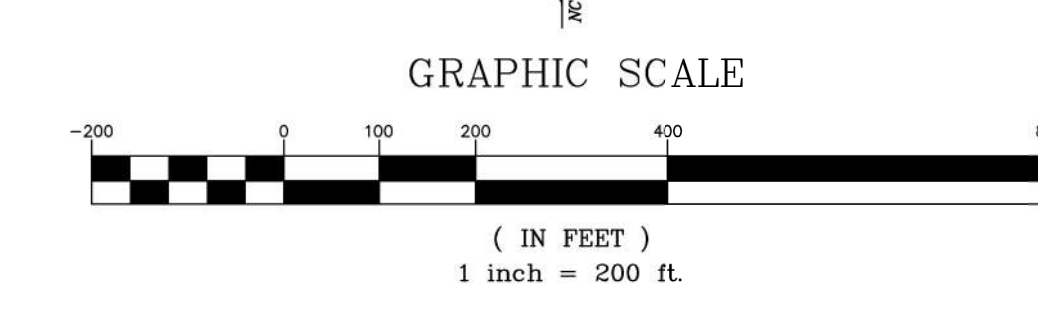
**Project No.:** 2516  
**DWG File Name:** 2516\_Prem-Layout(12-12-2017)  
**Drawing No.:** CP-1



Parcel Area Table		Parcel Area Table		Parcel Area Table		Parcel Area Table		Parcel Area Table	
Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area
1	6120.00	51	6878.73	101	6120.08	151	6120.00	201	6120.00
2	6120.00	52	6512.94	102	6120.08	152	6120.00	202	6120.00
3	6120.00	53	6120.00	103	6120.08	153	6120.00	203	8097.55
4	6120.00	54	6120.00	104	6120.08	154	6267.14	204	6733.52
5	6120.00	55	6120.00	105	6120.08	155	6659.93	205	6120.00
6	6120.00	56	6120.00	106	6120.08	156	6659.93	206	6120.00
7	6217.24	57	6120.00	107	6120.08	157	6450.54	207	6120.00
8	6977.35	58	6120.00	108	6090.26	158	8277.48	208	6120.00
9	6977.35	59	6826.28	109	7036.26	159	7792.79	209	6120.00
10	6977.35	60	6708.62	110	6618.59	160	6620.71	210	6436.83
11	6977.35	61	6120.00	111	6119.98	161	6120.00	211	7259.52
12	6565.47	62	6120.00	112	8183.53	162	6120.00	212	6120.00
13	6120.00	63	6120.00	113	6120.00	163	7765.59	213	6120.00
14	6120.00	64	6120.00	114	6120.00	164	8287.55	214	6120.00
15	6120.00	65	6120.63	115	6120.00	165	6321.10	215	6120.00
16	6120.00	66	7165.67	116	6120.00	166	6120.00	216	8064.07
17	6373.93	67	6339.02	117	6120.00	167	6120.00	217	8287.55
18	6977.35	68	7608.16	118	6120.00	168	6120.00	218	7809.39
19	6977.35	69	7709.97	119	6120.00	169	7531.35	219	6815.32
20	6977.35	70	6190.52	120	6120.00	170	8287.55	220	5629.98
21	6977.35	71	5824.83	121	6120.00	171	7072.63	221	6120.00
22	6120.00	72	5531.96	122	6120.00	172	6120.00	222	6120.00
23	6120.00	73	11300.08	123	6120.00	173	6120.00	223	6120.00
24	6120.00	74	11300.08	124	6120.00	174	6189.14	224	6120.00
25	6120.00	75	11300.08	125	6120.00	175	6504.88	225	7656.20
26	6120.00	76	7587.65	126	6559.03	176	6504.88	226	6157.45
27	6075.87	77	8068.36	127	6120.00	177	6504.88	227	6647.94
28	6651.05	78	6375.00	128	7701.61	178	6504.88	228	6891.18
29	6370.92	79	7087.50	129	6504.38	179	6282.38	229	6643.48
30	7166.28	80	6120.00	130	6070.03	180	6120.00	230	6120.00
31	10372.47	81	7196.04	131	6070.09	181	6559.03	231	6120.00
32	10372.47	82	8862.47	132	6860.83	182	6743.97	232	6120.00
33	10372.47	83	6120.00	133	6825.32	183	9793.40	233	6120.00
34	6339.17	84	6120.00	134	6255.72	184	10372.47	234	6120.00
35	6212.85	85	6120.00	135	6120.00	185	10372.47	235	6120.00
36	6120.00	86	6343.06	136	6120.00	186	8392.23	236	6120.00
37	6120.00	87	10358.62	137	6120.00	187	6440.56	237	6120.00
38	6603.95	88	6410.78	138	6120.00	188	6233.97	238	6120.00
39	8055.80	89	10351.94	139	6120.00	189	6460.28	239	6120.00
40	6908.75	90	9961.57	140	6120.00	190	6190.06	240	6120.00
41	6120.00	91	6035.46	141	6120.00	191	6504.88	241	6120.00
42	6120.00	92	6140.39	142	6120.00	192	6504.88	242	6120.00
43	6120.00	93	6120.00	143	6120.00	193	6504.88	243	6120.00
44	6120.00	94	6456.16	144	6646.44	194	6504.88	244	6120.00
45	6136.99	95	6120.00	145	6891.18	195	6504.88	245	6120.00
46	6478.35	96	6120.00	146	6891.18	196	6504.88	246	6120.00
47	6120.00	97	6120.00	147	6891.18	197	6504.88	247	6120.00
48	6478.35	98	7111.92	148	6891.18	198	6504.88	248	6120.00
49	6432.96	99	6120.08	149	6312.94	199	6279.25	249	7072.73
50	6038.32	100	6120.08	150	6120.00	200	6120.00	250	7134.00

PHASE	UNIT TYPE	LOTS
1	SINGLE FAMILY	±108
1	TOWNHOME	±80
2	SINGLE FAMILY	±90
2	TOWNHOME	±112
3	SINGLE FAMILY	±82
		280

Parcel Area Table	
Parcel #	Area
251	6120.00
252	6120.00
253	6120.00
254	6120.00
255	6120.00
256	6120.00
257	6075.87
258	6120.00
259	6370.92
260	7166.28
261	10372.47
262	10372.47
263	10372.47
264	6339.17
265	6212.85
266	6120.00
267	6120.00
268	6603.95
269	8055.80
270	6908.75
271	6120.00
272	6120.00
273	6120.00
274	6120.00
275	6136.99
276	6478.35
277	6120.00
278	6478.35
279	6432.96
280	6038.32



**NOTE:** ROADWAY IMPROVEMENTS SUBJECT TO FINAL NCDOT APPROVAL



**CONDITIONAL NOTES:**

- TOTAL NUMBER OF LOTS ON EACH RESPECTIVE LOT SIZE (20' & 51') ARE APPROXIMATE. FINAL COUNTS FOR EACH SIZE MAY VARY BUT THE TOTAL LOT YIELD SHALL NOT EXCEED 472 LOTS.
- ALL PROPOSED PUBLIC STREETS SHALL BE SUBJECT TO THE CITY OF MONROE'S TYPICAL RESIDENTIAL STREET STANDARDS. SIDEWALK SHALL BE INSTALLED ALONG BOTH SIDES OF THE STREET.
- PROPOSED WALKING TRAILS SHOWN ARE APPROXIMATE; FINAL LOCATION OF TRAILS SHALL BE STRATEGICALLY FIELD LOCATED.
- ALL CLUSTER MAILBOXES SHALL BE SUBJECT TO THE LATEST USPS CLUSTER MAILBOX GUIDELINES. THE FINAL LOCATION(S) SHALL BE COORDINATED WITH THE USPS.
- THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE MONROE FIRE DEPARTMENT FIRE MARSHAL APPROVAL AND 2012 NC FIRE CODE.
- PROPOSED GRAVITY SEWER SYSTEM AND POTABLE WATER MAIN SYSTEMS SHALL BE DEDICATED TO THE CITY OF MONROE FOR OWNERSHIP AND MAINTENANCE.
- ANY IMPACTS TO JURISDICTIONAL STREAMS AND/OR WETLANDS ONSITE, SHALL REQUIRE APPROPRIATE PERMIT(S) WITH THE CORPS OF ENGINEERS AND OTHER AUTHORITY HAVING JURISDICTION OVER SUCH IMPACT.
- THE DEVELOPMENT SHALL BE SUBJECT TO ANY STREET IMPROVEMENT RECOMMENDATIONS IDENTIFIED ON THE NCDOT'S APPROVED TIA.
- LOT LINES SHALL BE SUBJECT TO THE LATEST CITY OF MONROE LAND DEVELOPMENT DESIGN GUIDELINES AND ORDINANCE. FINAL LOT LINES FOR THE TOWN HOMES SHALL DETERMINED DURING ENGINEERING.
- ANY TECHNICAL ISSUES NOT ADDRESSED WITH THE REZONING SITE PLAN SHALL BE SUBJECT TO THE CONSTRUCTION DOCUMENT APPROVAL AND COMPLIANCE WITH THE CITY'S SUBDIVISION AND LAND DEVELOPMENT STANDARDS.
- THE PETITIONER AGREES TO SUBMIT A LANDSCAPE PLAN AND LIGHTING PLAN WITH THE CONSTRUCTION DOCUMENTS. ALL STREET TREES SHALL BE MAINTAINED BY THE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION. THE CITY OF MONROE SHALL ASSUME NO MAINTENANCE RESPONSIBILITY FOR TREES THAT ARE PLACED IN THE STREET RIGHT OF WAY.
- AMENITIES FOR THE TOWN HOMES SHALL INCLUDE A PLAYGROUND AND WALKING TRAILS. FUTURE AMENITIES FOR THE DETACHED PRODUCT CAN BE PROVIDED PER THE DISCRETION OF THE PETITIONER.
- FUTURE AMENDMENTS TO THE REZONING PLAN (WHICH INCLUDES THESE DEVELOPMENT STANDARDS) MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE APPLICABLE DEVELOPMENT AREA PORTION OF THE SITE AFFECTED BY SUCH AMENDMENT.
- UPON APPROVAL OF THIS REZONING PETITION, ALL CONDITIONS APPLICABLE TO THE DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INSURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST OR ASSIGNS.
- SIGNAGE WITHIN THE DEVELOPMENT SHALL MEET THE REQUIREMENTS OF THE ORDINANCE.
- THE SCHEMATIC DEPICTIONS OF THE LOTS, STREETS, SIDEWALKS AND OTHER SITE ELEMENTS SET FORTH IN THE REZONING PLAN SHOULD BE REVIEWED IN CONJUNCTION WITH THE PROVISIONS OF THESE DEVELOPMENT STANDARDS. THE ULTIMATE LAYOUT, LOCATIONS, AND SIZES OF THE DEVELOPMENT AND SITE ELEMENTS DEPICTED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT AND SITE ELEMENTS PROPOSED. THEY MAY BE ALTERED IN ACCORDANCE WITH THE SETBACK, YARD AND BUFFER REQUIREMENTS SET FORTH IN THIS REZONING PLAN AND THE DEVELOPMENT STANDARDS, PROVIDED ANY SUCH ALTERATIONS AND MODIFICATIONS SHALL NOT MATERIALLY CHANGE THE OVERALL DESIGN INTENT DEPICTED ON THE REZONING PLAN.
- STREET LAYOUTS MAY BE MODIFIED TO ACCOMMODATE FINAL LOTTING AND DEVELOPMENT PLANS WITHIN THE DEVELOPMENT AREA BOUNDARIES TO THE EXTENT PERMITTED BY THE ORDINANCE.
- NEW HOMES WILL MEET ARCHITECTURAL STANDARDS SET FORTH IN THIS PETITION. REFER TO THE PROPOSED DESIGN REGULATIONS FOR RESIDENTIAL STRUCTURES.
- DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING SITE PLAN AND THESE DEVELOPMENT STANDARDS COLLECTIVELY REFERRED TO AS THE "REZONING PLAN", AS WELL AS THE APPLICABLE PROVISIONS OF THE CITY OF MONROE ZONING ORDINANCE (THE "ORDINANCE").
- DEVELOPER SHALL INSTALL SIDEWALK ALONG ALL PROPERTY FRONTAGE.
- ARCHITECTURAL DESIGN ELEMENTS WILL NEED TO MEET THE CITY OF MONROE GUIDELINES.
- ARCHITECTURAL REVIEW WILL BE REQUIRED AS PART OF ALL FUTURE SUBMITTALS.
- TOWN HOMES SHALL HAVE A 25 FT. BUFFER ALONG THE PROJECT BOUNDARY ADJACENT TO THE EXISTING SINGLE FAMILY HOUSING. BUFFER WILL BE A LANDSCAPED BELM.
- THE PHASE LINES SHOWN ARE PRELIMINARY BASED ON EXISTING TOPOGRAPHY PATTERN, RESPECTIVE DRAINAGE BASINS, AND STREET CONNECTIVITY AND ACCESSIBILITY. ACTUAL CONSTRUCTION AND DEVELOPMENT PHASES AND SUB PHASES SHALL BE SUBJECT TO CHANGES BASED ON MARKET CONDITIONS AND CONSTRUCTION SCHEDULES.

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**NOTES:**

**TOWNHOMES/DETACHED SINGLE FAMILY:**

- PROPOSED REZONING FROM R-20 TO CONDITIONAL DISTRICT - SECREST COMMONS.
- ROADS WILL BE PUBLIC STREETS CONSTRUCTED IN ACCORDANCE WITH CITY OF MONROE STANDARDS.
- LOT SIZE RANGE IS FROM 6,000 SF TO 11,300 SF. AVG. LOT SIZE IS 6,500 SF.
- TOWNHOMES WILL BE SUBJECTS WITH A MINIMUM AREA OF 800 SF (1,300 SF HEATED FLOOR SPACE PER UNIT).
- EXTERIOR MATERIALS INCLUDE BRICK, STONE, AND HARDIE BOARD MATERIAL. VINYL TRIM WILL BE PERMITTED.
- MINIMUM HOUSE SIZE SHALL BE 1,600 SF (RANCH), 2,000 SF (2-STORY), AND 1300 SF (TOWNHOMES).
- STREET TREES SHALL BE PROVIDED AT A RATE OF 3 PER 100 FT WITH A CALIBER OF 1 1/2 INCHES MEASURED 6 INCHES ABOVE GRADE. STREET TREES SHOULD BE A VARIETY OF SPECIES.
- EACH HOME SHALL HAVE AT LEAST 1 FRONT YARD TREE, SUITABLE FOR HEALTHY GROWTH IN OUR CLIMATE. EACH TREE SHALL HAVE MINIMUM CALIBER OF 1 1/2 INCHES MEASURED 6 INCHES ABOVE GRADE.
- ALL DETACHED SINGLE FAMILY DRIVEWAYS SHALL BE PAVED WITH CONCRETE OR ASPHALT FROM THE ROAD TO THE GARAGE. EACH DRIVEWAY SHALL BE ABLE TO ACCOMMODATE AT LEAST FOUR (4) VEHICLES.
- ALL DETACHED SINGLE FAMILY HOUSES SHALL HAVE A STANDARD TWO CAR GARAGE (MINIMUM).
- HOUSES BUILT ON SLAB FOUNDATIONS SHALL HAVE A MINIMUM FOUR COURSES OF BRICK, OF STANDARD SIZE, EXTENDING UP THE FACE OF THE SLAB.
- ALL TOWNHOME DRIVEWAYS SHALL BE PAVED WITH CONCRETE OR ASPHALT FROM THE ROAD TO THE GARAGE. EACH DRIVEWAY SHALL BE ABLE TO ACCOMMODATE AT LEAST TWO (2) VEHICLES.
- ALL TOWNHOMES SHALL HAVE A STANDARD ONE CAR ATTACHED GARAGE (MINIMUM).
- THE FRONT WALL OF ALL HOUSES SHALL NOT RUN UNBROKEN (UNARTICULATED) FOR A DISTANCE OF MORE THAN 24 LINEAR FEET. ALL WALL OFFSETS SHALL BE A MINIMUM OF ONE FOOT (1) IN DEPTH.
- THE MAJORITY OF ALL ROOF AREAS ON ANY HOUSE SHALL HAVE A MINIMUM OF 6/12 PITCH ROOF.
- ALL EXPOSED CHIMNEYS SHALL BE STUCCO OR BRICK VENEERED CONSISTENT WITH THE ARCHITECTURE.
- FRONT LAWNS OF ALL UNITS/HOMES SHALL BE SODDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL FRONT LARD GARAGES SHALL HAVE GARAGE STYLE DOORS OR HARDWARE THAT MIMICS GARAGE STYLE DOORS.
- SIGN REGULATIONS FOR THIS PROPERTY SHALL ADHERE TO THE RESIDENTIAL SIGN REQUIREMENTS.
- ALL LANDSCAPING SHALL BE KEPT IN A THRIVING CONDITION.
- ALL ELEVATIONS, PACKETS, OR OTHER SUPPLEMENTAL MATERIAL SUBMITTED TO STAFF, PLANNING BOARD, AND/OR CITY COUNCIL IN REFERENCE AND SUPPORT OF ANY CONDITIONAL DISTRICT SHALL BE REGARDED AS AN INTEGRAL ELEMENT OF THE APPROVED SITE PLAN. MINOR DEVIATIONS FROM SUBMITTED MATERIAL SHALL BE ALLOWED AT THE DISCRETION OF THE PLANNING COORDINATOR OR HIS DESIGNEE.
- TREES WITHIN THE DEVELOPMENT THAT ARE 75" OR GREATER IN CIRCUMFERENCE MUST BE PRESERVED AND SHALL NOT BE REMOVED.
- TREES WITHIN THE DEVELOPMENT THAT ARE 25" OR GREATER IN CIRCUMFERENCE MAY ONLY BE REMOVED IF THEY ARE LOCATED WITHIN AN APPROVED STREET CROSS SECTION, BUILDING PAD, DRIVEWAY AREA, STORMWATER MANAGEMENT FEATURE, OR STORM OR UTILITY EASEMENT.

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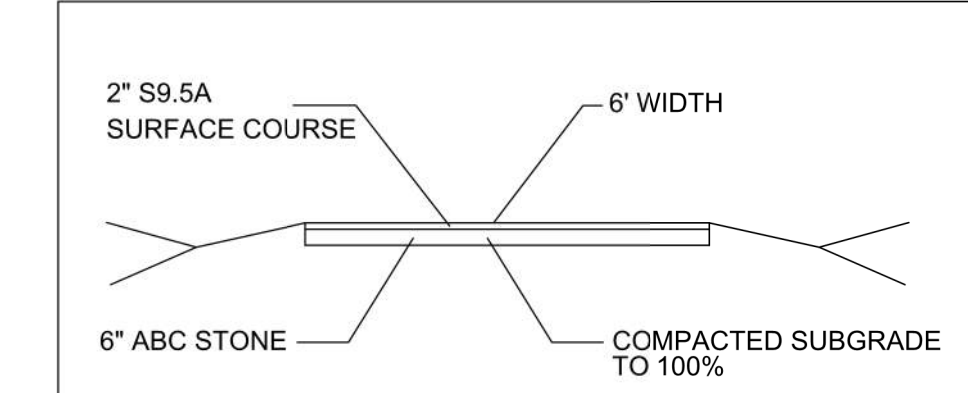
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**ACTIVE ADULT:**

- DEVELOPER MAY ELECT TO MAKE ANY PORTION OF THE SINGLE FAMILY DETACHED AREA (TRACT #1) ACTIVE ADULT AND/OR AGE TARGETED HOUSING, SUBJECT TO SPECIFIED ARCHITECTURAL STANDARDS FOR THE COMMUNITY FOR SUCH HOUSING.
- IF SUCH CHANGE IS ELECTED BY THE DEVELOPER, DEVELOPER SHALL NOTIFY IN WRITING TO THE PLANNING DIRECTOR OF ITS INTENT AND PROVIDE A MAP OUTLINING THE SPECIFIC AREA AND NUMBER OF LOTS TO BE AFFECTED.
- THE MINIMUM LOT SIZE WILL NOT BE AFFECTED, BUT THE MINIMUM HOUSE SIZE MAY BE REQUIRED TO 1,300 SF (RANCH STYLE HOMES).
- ACTIVE ADULT/AGE TARGETED HOUSING FOUNDATION/SLABS MY BE AT-GRADE.
- UNLESS OTHERWISE STATED IN THIS SECTION, ALL OTHER STANDARDS OUTLINED FOR "TOWNHOMES/DETACHED SINGLE FAMILY" WILL APPLY.



NOTES:  
1. 4" OF CONCRETE MAY ALSO BE USED IN LIEU OF 6" ABC AND 2" SURFACE COURSE.

GREENWAY/WALKING TRAIL

DATE	ISSUED FOR	REV
02/26/2018	Revisions based on City of Monroe Comments	1



Engineer:

**R. Joe Harris & Associates, Inc.**  
Engineering • Land Surveying • Planning Management  
127 Ben Cisey Drive, Suite 100, Fort Mill, S.C. 29708 P: (803) 802-1799

www.rjoharris.com

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Corporate Seal	Engineer's Seal

Project Manager	Drawn
P. Murphy	I. Bailey
Department Manager	Checked
P. Murphy	P. Murphy
Print/Plot Date	
February 21, 2018	
Client	

**MT LAND**  
141 PROVIDENCE RD  
CHARLOTTE, NC 28207  
P: (704) 200-4237

Project:  
**Secret Commons**

Drawing Title:  
**Site Details**

Project No.	Drawing No.
2516	
DWG File Name:	
2516_Prem-Layout(12-12-2017)	



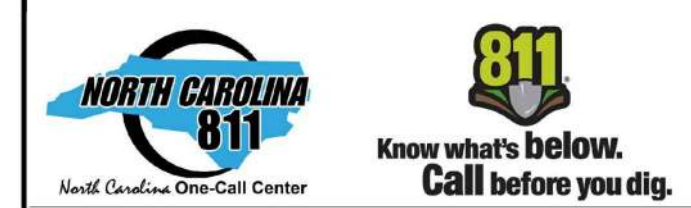
**SINGLE FAMILY**



**ACTIVE ADULT**



**TOWNHOMES**



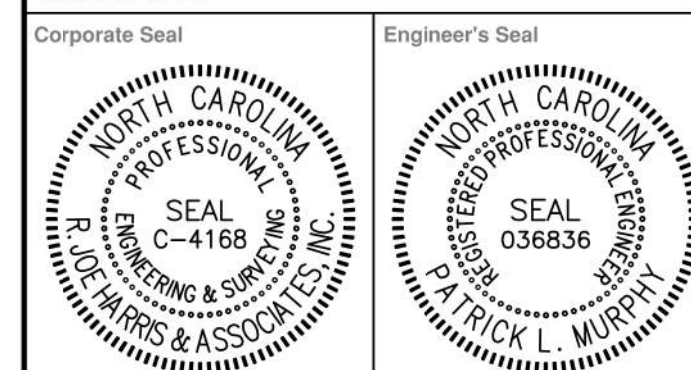
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[www.rjoe-harris.com](http://www.rjoe-harris.com)

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Project Manager <b>P. Murphy</b>	Drawn <b>I. Bailey</b>
Department Manager <b>P. Murphy</b>	Checked <b>P. Murphy</b>
Print/Plot Date <b>December 18, 2017</b>	

Client  
**MT LAND**  
 141 PROVIDENCE ROAD  
 CHARLOTTE, NC 28207  
 P: (704) 200-4237

Project:  
**Secret Commons**

Drawing Title:  
**Illustrative Details**

Project No. <b>2516</b>	Drawing No. <b>CP-3</b>
DWG File Name: 2516_Prem-Layout(12-12-2017)	

**ARCHITECTURAL STANDARDS FOR COMMUNITY:**

**TOWNHOMES/DETACHED SINGLE FAMILY:**

- EXTERIOR MATERIALS SHALL CONSIST OF BRICK, STONE AND/OR HARDIE BOARD MATERIALS.
- VINYL TRIM WILL BE PERMITTED.
- GARAGES SHALL NOT EXTEND MORE THAN 5' PAST THE FRONT FACADE OF THE HOME.
- PORCHES, STOOPS OR OTHER VARIATIONS TO BE PROVIDED THROUGHOUT COMMUNITY.

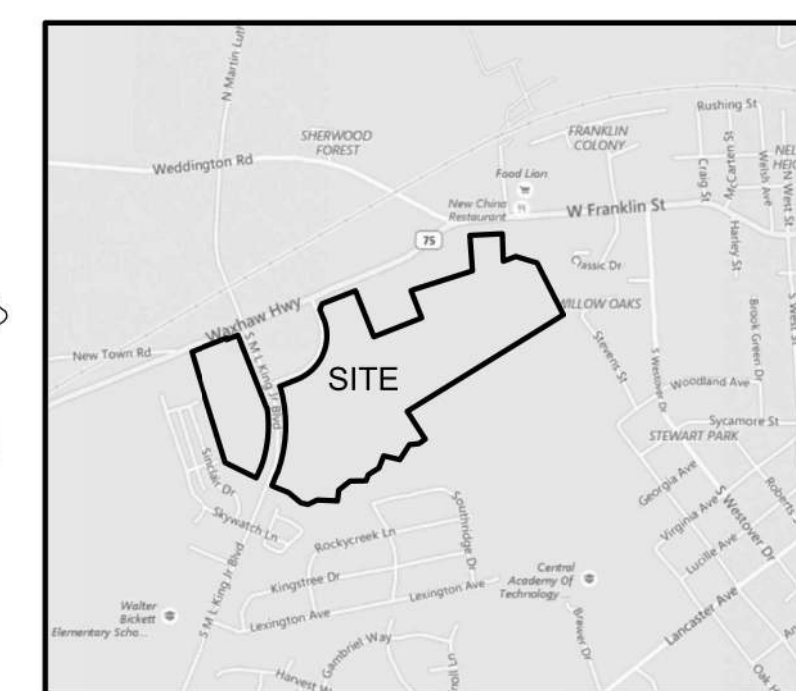
**ACTIVE ADULT/AGE TARGETED HOMES:**

- EXTERIOR MATERIALS SHALL CONSIST OF BRICK, STONE AND/OR HARDIE BOARD MATERIALS.
- VINYL TRIM ACCENTS SHALL BE PERMITTED.
- GARAGES SHALL NOT EXTEND MORE THAN 20' PAST THE FRONT FACADE OF THE HOME.
- NO MORE THAN 20% OF LOTS (56 LOTS) SHALL HAVE PROTRUDING GARAGES.
- PORCHES, STOOPS OR OTHER VARIATIONS TO BE PROVIDED THROUGHOUT COMMUNITY.

-NOTE

ILLUSTRATIVE DETAILS SHOWN TO REPRESENT STYLES OF HOUSING PROPOSED, SUBJECT TO SPECIFIC ARCHITECTURAL STANDARDS NOTED BELOW AND ON SHEET CP-1 (ARCHITECTURAL STANDARDS FOR COMMUNITY). ACTUAL HOUSING STYLES MAY VARY.





VICINITY MAP - N.T.S.



Engineer:

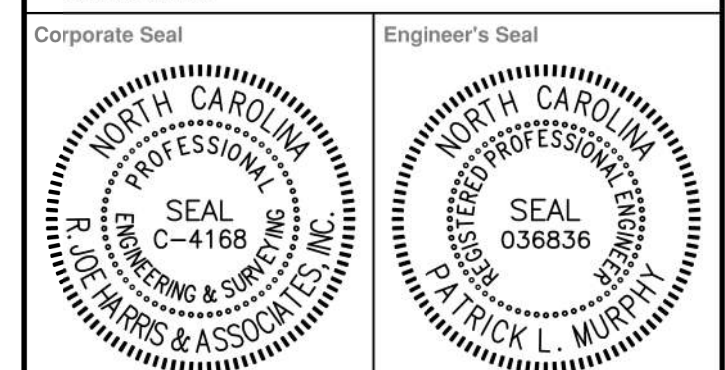
**RJH**

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P. Murphy	I. Bailey
Department Manager	Checked
P. Murphy	P. Murphy
Print/Plot Date	
February 21, 2018	
Client	

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141 PROVIDENCE ROAD  
CHARLOTTE, NC 28207  
P: (704) 200-4237

Project:

**Secret Commons**

Drawing Title:

**Street Tree Plan**

Project No.	Drawing No.
2516	CP-6
DWG File Name:	
2516_Prem-Layout(12-12-2017)	

**LEGEND**

PLANT SYMBOL	COMMON NAME
	JAPANESE ZELKOVA *

NOTES:  
 \*OTHER SPECIES MAY BE USED WITH APPROVAL FROM CITY OF MONROE  
 \* TREES WILL BE PLACED 20 FT OFF CENTER  
 \* THREE (3) STREET TREES EVERY 100 LINEAR FEET

- GENERAL NOTES:**
- STREET TREES SHOWN ONLY
  - LOCATION OF TREES MAY VARY, BUT MINIMUM NUMBER OF TREES AND SIZE SPECIFIED MUST BE INSTALLED BY BUILDER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - TREES WITHIN SIGHT TRIANGLES TO BE SINGLE STEM AND LIMBED FROM GROUND TO SIX FEET.

**PAVEMENT SCHEDULE\***

- 1 in. BIT. CONC. SURFACE COURSE, TYPE SF 9.5A
- 2.5 in. BIT. CONC. BINDER COURSE, TYPE I 19.0B
- 4 in. BIT. CONC. BASE COURSE, TYPE B 25.0B OR 8 in. COMPACTED AGGREGATE BASE COURSE
- 2 ft. 0 in. VALLEY & GUTTER
- 4 in. CONCRETE SIDEWALK, 5' FT. WIDTH

\*PAVEMENT STRUCTURE FOR RESIDENTIAL STREETS WITH LESS THAN 4,000 VEHICLES PER DAY.

**NOTES**

- UTILITY LOCATIONS SHOWN (OTHER THAN PHONE & CABLE) ARE FOR UTILITIES OWNED AND OPERATED BY THE CITY OF MONROE.
- DEPTHS SHOWN ARE MINIMUM DEPTHS OF BURY.
- STREET LIGHTS WILL BE ON ONE SIDE OF ROAD DEPENDING ON SUBDIVISION LAYOUT.

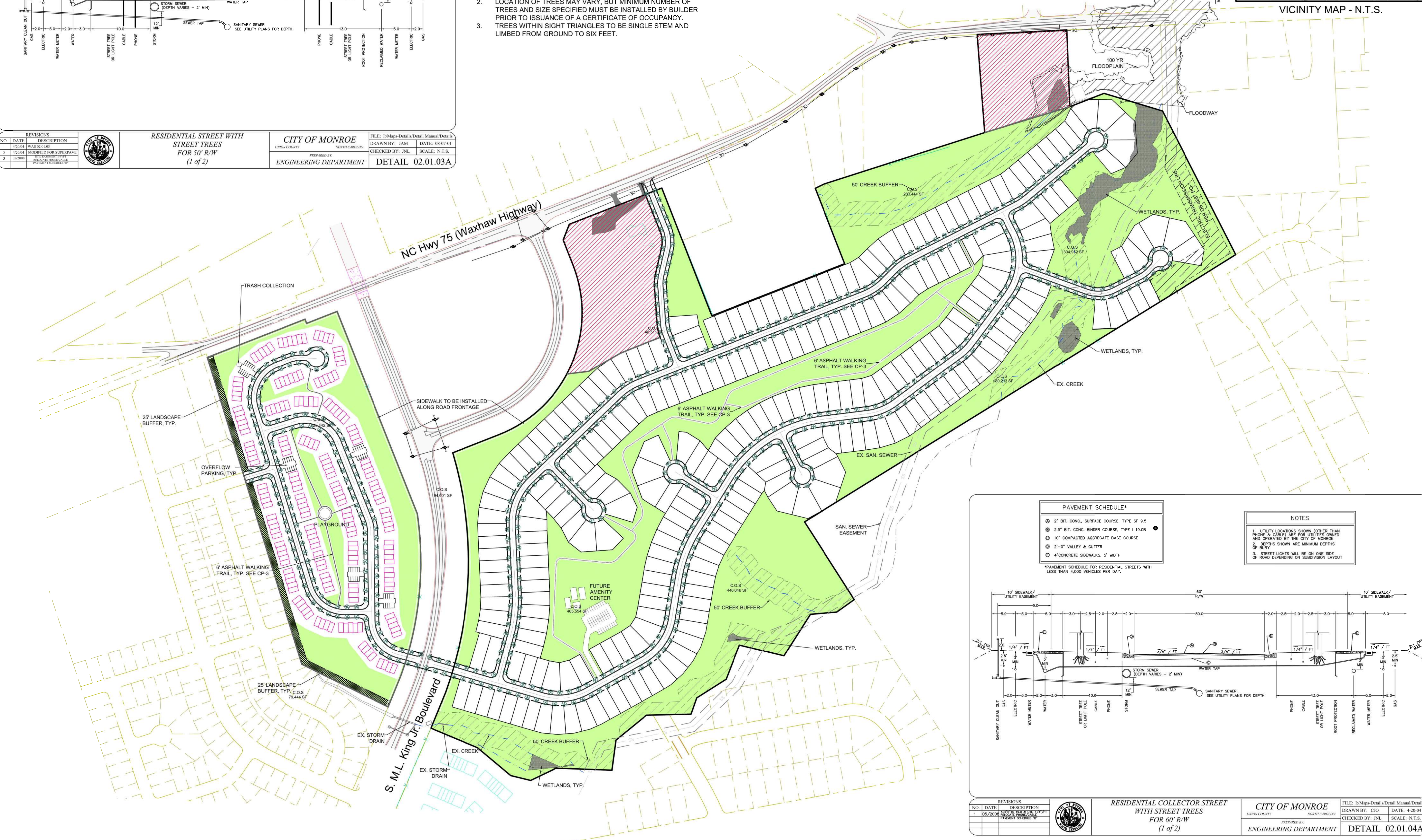
**REVISIONS**

NO.	DATE	DESCRIPTION
1	4/20/14	WAS 40.01
2	4/20/14	MODIFIED FOR PREPARE
3	8/12/14	REVISIONS TO PAYMENT SCHEDULE

**RESIDENTIAL STREET WITH STREET TREES FOR 50' R/W (1 of 2)**

**CITY OF MONROE**  
ENGINEERING DEPARTMENT

FILE: 1/Maps-Details/Detail Manual Details  
DRAWN BY: JAM DATE: 06/07/16  
CHECKED BY: JNL SCALE: N.T.S.



**PAVEMENT SCHEDULE\***

- 2" BIT. CONC. SURFACE COURSE, TYPE SF 9.5
- 2.5" BIT. CONC. BINDER COURSE, TYPE I 19.0B
- 10" COMPACTED AGGREGATE BASE COURSE
- 2'-0" VALLEY & GUTTER
- 4" CONCRETE SIDEWALKS, 5' WIDTH

\*PAVEMENT STRUCTURE FOR RESIDENTIAL STREETS WITH LESS THAN 4,000 VEHICLES PER DAY.

**NOTES**

- UTILITY LOCATIONS SHOWN (OTHER THAN PHONE & CABLE) ARE FOR UTILITIES OWNED AND OPERATED BY THE CITY OF MONROE.
- DEPTHS SHOWN ARE MINIMUM DEPTHS OF BURY.
- STREET LIGHTS WILL BE ON ONE SIDE OF ROAD DEPENDING ON SUBDIVISION LAYOUT.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	05/20/2018	REVISED FOR PREPARE PROJECT SCHEDULE

**RESIDENTIAL COLLECTOR STREET WITH STREET TREES FOR 60' R/W (1 of 2)**

**CITY OF MONROE**  
ENGINEERING DEPARTMENT

FILE: 1/Maps-Details/Detail Manual Details  
DRAWN BY: CJO DATE: 4-20-04  
CHECKED BY: JNL SCALE: N.T.S.

