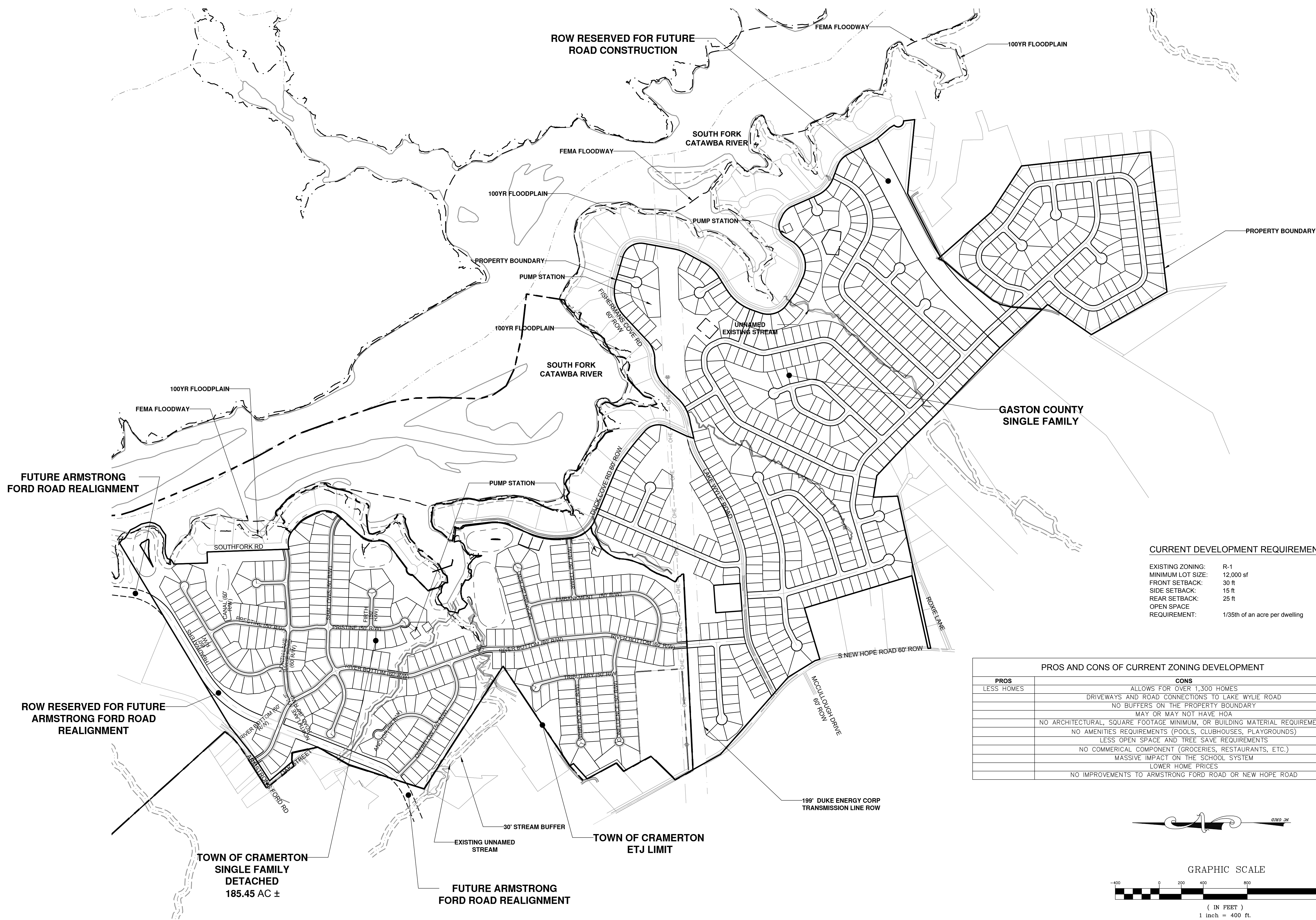


PROPOSED SITE PLAN UNDER CURRENT ZONING

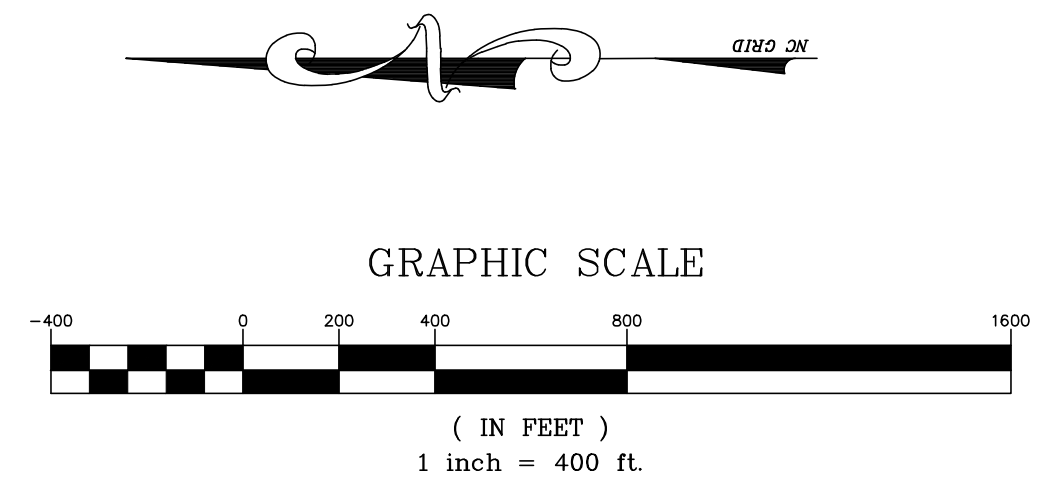


CURRENT DEVELOPMENT REQUIREMENTS

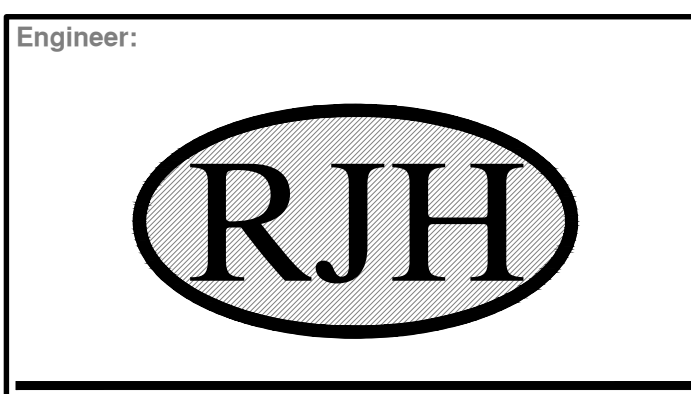
EXISTING ZONING:	R-1
MINIMUM LOT SIZE:	12,000 sf
FRONT SETBACK:	30 ft
SIDE SETBACK:	15 ft
REAR SETBACK:	25 ft
OPEN SPACE REQUIREMENT:	1/35th of an acre per dwelling

PROS AND CONS OF CURRENT ZONING DEVELOPMENT

PROS	CONS
LESS HOMES	ALLOWS FOR OVER 1,300 HOMES
	DRIVEWAYS AND ROAD CONNECTIONS TO LAKE WYLIE ROAD
	NO BUFFERS ON THE PROPERTY BOUNDARY
	MAY OR MAY NOT HAVE HOA
	NO ARCHITECTURAL, SQUARE FOOTAGE MINIMUM, OR BUILDING MATERIAL REQUIREMENTS
	NO AMENITIES REQUIREMENTS (POOLS, CLUBHOUSES, PLAYGROUNDS)
	LESS OPEN SPACE AND TREE SAVE REQUIREMENTS
	NO COMMERCIAL COMPONENT (GROCERIES, RESTAURANTS, ETC.)
	MASSIVE IMPACT ON THE SCHOOL SYSTEM
	LOWER HOME PRICES
	NO IMPROVEMENTS TO ARMSTRONG FORD ROAD OR NEW HOPE ROAD



DATE	ISSUED FOR	REV



R. Joe Harris & Associates, Inc.
 Engineering • Land Surveying • Planning Management
 127 Ben Casey Drive, Suite 101, Fort Mill, S.C. 29708 P: (803) 802-1700

www.rjoharris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

Project Manager	Drawn
J. Hegemann	D. Trull
Department Manager	Checked
P. Murphy	Thomas Kelly
Print/Plot Date	
October 8, 2018	
Asbuilt Drawn	Asbuilt Date
-	-

Client
MT Land
 141 PROVIDENCE ROAD
 CHARLOTTE, NC 28207
 P: (704) 200-4237

Project:
Overlook at Riverside

Drawing Title:
PROPOSED SITE PLAN UNDER CURRENT ZONING

Project No.	Drawing No.
2496	
DWG File Name: 2496 - Gaston & Cramerton road edit	