

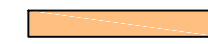






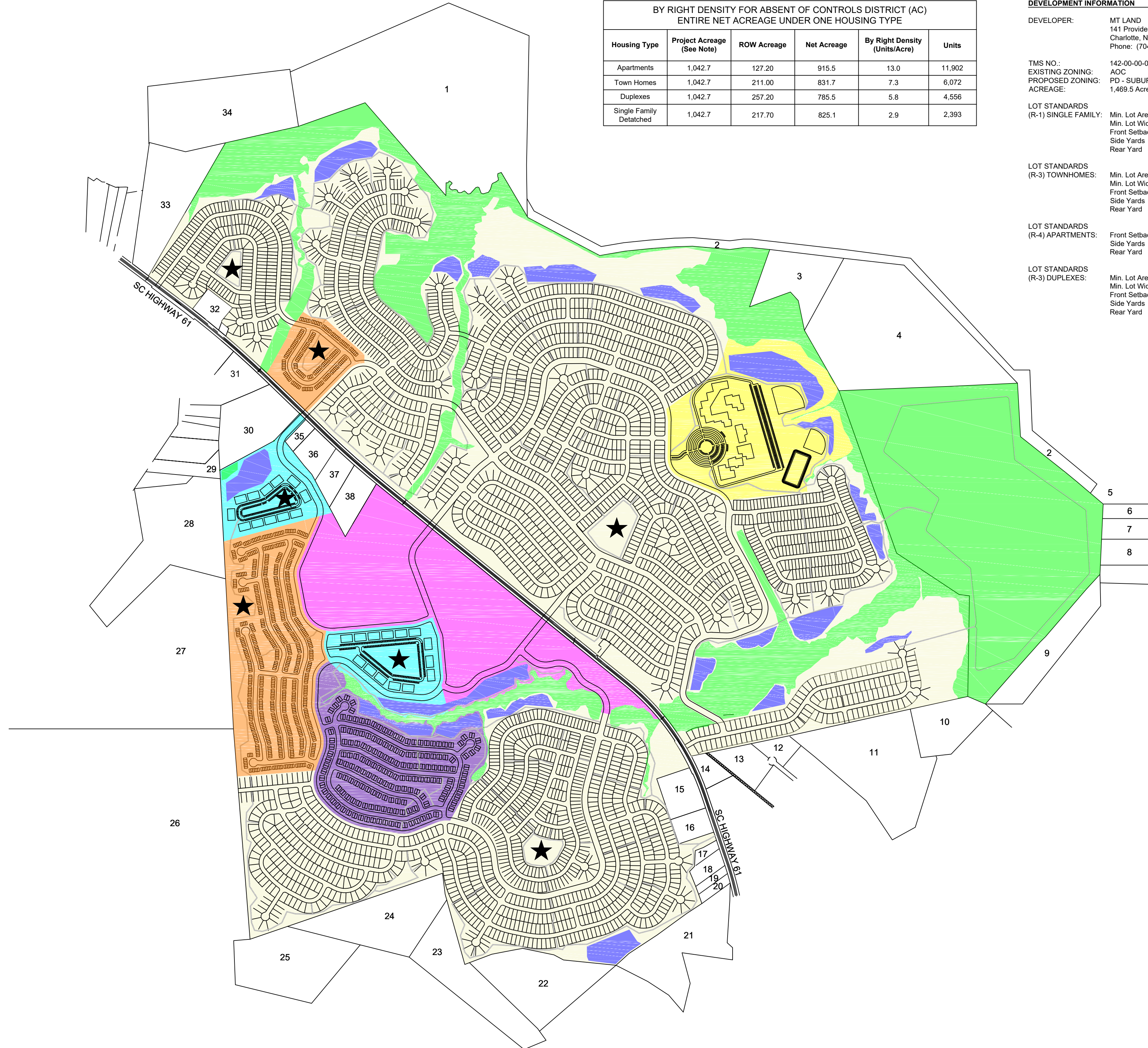


DEVELOPMENT TYPE	
	SINGLE FAMILY RESIDENTIAL (848.5 ACRES) DENSITY: 3.8 UNITS/ACRE
LOTS: 3,249	LOT SIZES: 40' X 120' = 4,800 SF 50' X 120' = 6,000 SF 60' X 120' = 7,200 SF
	APARTMENTS (50.9 ACRES) DENSITY: 12.3 UNITS/ACRE
UNITS: 624	
	TOWNHOMES (81.7 ACRES) DENSITY: 10.2 UNITS/ACRE
UNITS: 828	
	DUPLEXES (58.5 ACRES) DENSITY: 5.9 UNITS/ACRE
UNITS: 342	
	COMMERCIAL (98.7 ACRES)
	WETLANDS
	DETENTION PONDS
	FUTURE ELEMENTARY AND MIDDLE SCHOOL SITE (67.9 ACRES)
	AMENITY CENTER

NOTE: 9% OF THE TOTAL LAND AREA WILL BE RESERVED FOR SOCIAL AND CULTURAL USES WITHIN RESIDENTIAL AREAS WITH LOCATIONS TO BE DETERMINED DURING LOT DESIGN LAYOUT. PONDS AND WETLANDS ARE DESIGNATED OPEN AREAS. THE SCHOOL SITE IS DESIGNATED AS RESIDENTIAL.

ADJACENT PROPERTY OWNERS						
#	Owner	TMS No.	Deed Book	Pg.	Plat Book	Pg.
1	Commissioner of Public Works Charleston	133-00-00-066	527	342		
2	Commissioner of Public Works Charleston	142-00-00-014	47	606		
3	Commissioner of Public Works Charleston	142-00-00-021	56	292		
4	PeKos Land and Timber LLC	134-00-00-036	9728	222	M	50
5	Commissioner of Public Works Charleston	142-00-00-018	500	152	11	170
6	Scott Lee Koehl	142-07-00-032	7778	259	K	76
7	Eric K & Deborah J Smith	142-07-00-001	8637	343	J	87
8	Betty Bailey Trustee & Joann Chinnors	142-07-00-003	6909	146	L	187
9	Unknown	999-00-00-002				
10	Edwin H Benzenberg	142-00-00-047	3567	136	J	96
11	Judy H Jacobs	142-00-00-065	10622	317	J	96
12	Joshua Ryan & Rebecca Franett	142-00-00-037	10140	316	K	162
13	Thomas Roland Longino	142-00-00-036	676	227	G	163
14	John P Jr. & Barbara W Chapman	142-00-00-007	4488	59	K	119
15	Billy Joseph & Stacy Rose Baham	142-00-00-082	11153	274	M	108
16	Jame Alcee & Judith Boudreaux	142-00-00-083	10983	187	M	108
17	Travis M Lee & Linda M DIBIA T&L Corp	142-00-00-006	725	281		
18	Marshall & Elizabeth Tyler	142-00-00-005	10628	166	K	62
19	Marshall & Elizabeth Tyler	142-00-00-004	2140	176	19	206
20	Marshall & Elizabeth Tyler	142-00-00-003	9448	107	12	45
21	Patt & Robert C & Frances R Campbell	142-00-00-008	9867	308	15	306
22	George E & Melanie B Franks	150-00-00-158	11116	249	G	257
23	George E & Melanie B Franks	141-00-00-056	11181	281	G	257
24	George E & Melanie B Franks	141-00-00-057	11181	271	G	257
25	George E & Melanie B Franks	141-00-00-059	11181	286	G	257
26	Rock Six Timberlands, LLC	149-00-00-041	10574	82	M	97
27	Strobel Investments Family Limited Partner	141-00-00-022	10652	9	M	101
28	Bertie L Williams	141-00-00-016	1824	329		
29	Nicholine Simmons	141-00-00-030	162	336	17	10
30	Charles & Amy S Rettberg	142-00-00-081	8413	132	L	185
31	Vera & Leathann & Joy Robinson	133-00-00-059	2506	346	11	138
32	Magnolia Baptist Church	133-00-00-106	432	48	L	196
33	Steven A Murray Sr.	133-00-00-243	10761	254	M	107
34	James L Strobel	133-00-00-100	6288	132	11	44
35	Kenny W Cooley	141-00-00-032	9658	174	D	349
36	Harry R Jr. & Jennifer Miller	141-00-00-042	10414	343	J	114
37	Louise I Schaefer	141-00-00-041	10820	290	J	114
38	Edward J III & Lynn P Arahill	141-00-00-040	1991	199		

BY RIGHT DENSITY FOR ABSENT OF CONTROLS DISTRICT (AC) ENTIRE NET ACREAGE UNDER ONE HOUSING TYPE					
Housing Type	Project Acreage (See Note)	ROW Acreage	Net Acreage	By Right Density (Units/Acre)	Units
Apartments	1,042.7	127.20	915.5	13.0	11,902
Town Homes	1,042.7	211.00	831.7	7.3	6,072
Duplexes	1,042.7	257.20	785.5	5.8	4,556
Single Family Detached	1,042.7	217.70	825.1	2.9	2,393

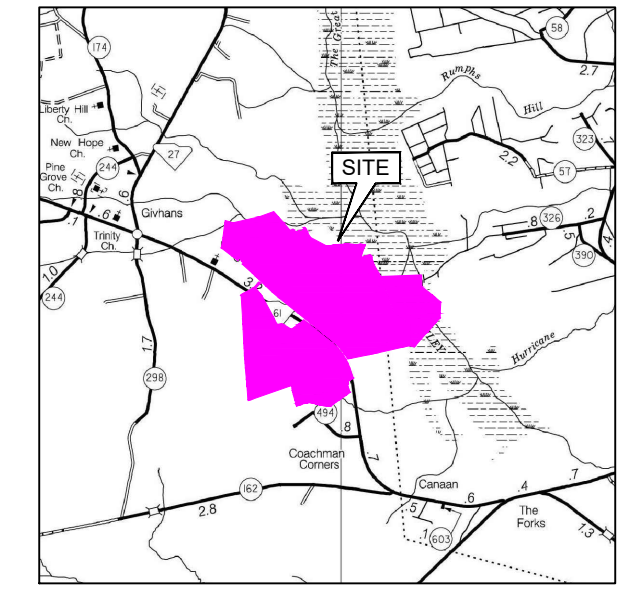


DEVELOPMENT INFORMATION	
DEVELOPER:	MT LAND 141 Providence Road Charlotte, North Carolina 28207 Phone: (704) 200-4237
TMS NO.:	142-00-00-022, 142-00-00-012, 142-00-00-015
EXISTING ZONING:	AOC
PROPOSED ZONING:	PD - SUBURBAN RESIDENTIAL
ACREAGE:	1,469.5 Acres
LOT STANDARDS (R-1) SINGLE FAMILY:	Min. Lot Area - 0.105 Acres (4,600 SF) Min. Lot Width - 40 Front Setback - 20 Side Yards - 5 Rear Yard - 20
LOT STANDARDS (R-3) TOWNHOMES:	Min. Lot Area - 0.037 Acres (1,600 SF) Min. Lot Width - 20 Front Setback - 20 Side Yards - 0 Rear Yard - 20
LOT STANDARDS (R-4) APARTMENTS:	Front Setback - 20 Side Yards - 10 Rear Yard - 20
LOT STANDARDS (R-3) DUPLEXES:	Min. Lot Area - 0.037 Acres (1,600 SF) Min. Lot Width - 20 Front Setback - 20 Side Yards - 0 Rear Yard - 20

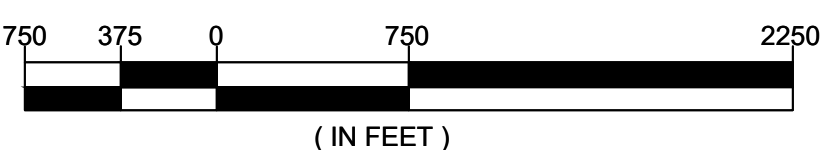
DEVELOPMENT STANDARDS	
Density (D.U.A.)	Project Density Requirements are based upon the limits listed in the Dorchester County Land Development Code.
Lot Standards	Minimum lot width has been listed in the development information for each lot type.
Setbacks	Setbacks have been listed in the development information for each lot type.
Building Height	40 feet for single family detached structures. 100 feet for other residential structures or nonresidential buildings.
Open Space	15% Unobstructed open space required for Planned Development. This includes all land not covered by buildings or other structures.
Perimeter Setback	Minimum 100 feet setback from arterial road right-of-way. Minimum 50 feet setback for parking. Minimum 15 feet setback from other adjacent nonresidential districts. No setback from adjacent agricultural/residential districts.
Streets/Roads	All roadways shall be constructed and paved to specifications and standards as set forth by Dorchester County Land Development Code.
Cul de sacs	Shall be no longer than 250 feet in length.
Signage	Signage must comply with Dorchester County Land Development Code.

**GUIDING PRINCIPLES FOR NEIGHBORHOOD AND LAND DEVELOPMENT DESIGN STANDARDS**

- Street patterns that prevent long straight road sections and excessive block lengths.
- Inter-connectivity between new and existing neighborhoods as well as multiple entrances into neighborhoods.
- Designs that promote walkable neighborhoods which connect to nearby schools, parks, churches, and other community facilities.
- Ensuring land is set aside for new fire stations, schools, parks, and other community facilities when necessary to adequately support new development.
- Architecture that is in character with the surrounding area, i.e. local vernacular such as Lowcountry or Southern utilizing quality building materials.
- Varying Lot configurations and sizes to accommodate a wide range of housing products.
- Appropriately scaled street-sections which accommodate sidewalks on both sides, wide verges, and street trees.
- Locating internal neighborhood parks so all homes are within a 5-minute walk.
- Proper buffering of residential neighborhoods from existing roads, community facilities, and transportation networks.
- Proper coordination with local municipalities and neighboring counties.
- Ensuring garage locations and vehicle storage does not interfere with the ability to create walkable and architecturally pleasant communities.



**Exhibit - Bubble Plan**



Project No.: 17167-0018  
September 27, 2018

**Project Branton**  
Approximately 1,500 Acre Mixed Use  
Planned Development on SC Highway 61,  
Southeast of SC Highway 27 in  
Unincorporated Dorchester County, South Carolina



Prepared by Alliance Consulting Engineers, Inc.